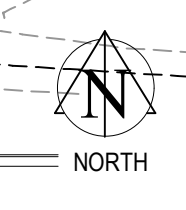




CHACO WEST TRAIL

N 57°08'33" W
192.67'

SITE PLAN
SCALE: 1" = 10'-0"

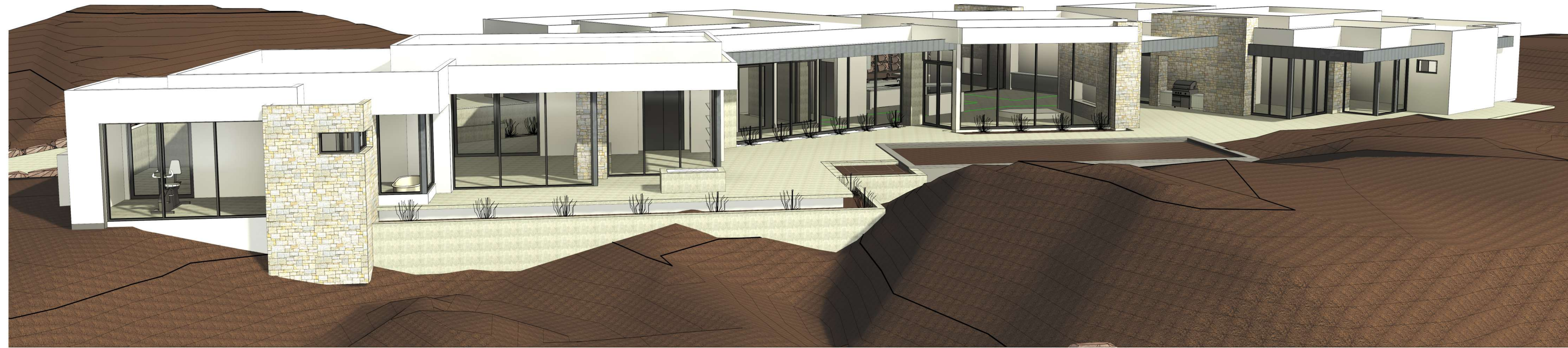


A-1 Site Plan	Project # CW02 PRELIMINARY 1.20.2023 NOT FOR CONSTRUCTION	CHACO WEST @ ENTRADA, LOT #02	ST. GEORGE, UT
	Project Information		McQuay Architects, PLLC 445 North 400 West #16 St. George, Utah 84770
Revisions:	Sheet:	Square Footage: Main Level: 6,832 TOTAL SQ. FT.: 6,832	Garage/Mech.: 1,412

CUSTOM RESIDENCE

CHACO WEST @ ENTRADA, LOT #02

SAINT GEORGE, UTAH



INDEX

ARCHITECTURAL

- COV Cover Sheet & Project Info.
- A-1 Site Plan
- A-2.1 Footprint Dimension Plan - Living
- A-2.2 Footprint Dimension Plan - Master Wing
- A-3.1 Main Level Reference Plan - Living
- A-3.2 Main Level Reference Plan - Master Wing
- A-3.3 Main Level Dimension Plan - Living
- A-3.4 Main Level Dimension Plan - Master Wing
- A-3.5 Door & Window Schedules
- A-4.1 Main Level Reflected Ceiling Plan - Living
- A-4.2 Main Level Reflected Ceiling Plan - Master Wing
- A-5.1 Roof Plan - Living
- A-5.2 Roof Plan - Master Wing
- A-6.1 Exterior Elevations
- A-6.2 Exterior Elevations
- A-7.1 Building & Typical Wall Sections
- A-7.2 Building Sections
- A-8.1 Main Level Electrical Plan
- A-8.2 Main Level Electrical Plan - Master Wing
- A-9.1 3D Views
- A-9.2 3D Views

STRUCTURAL

- S-1 Roof Framing Plan
- S-2 Shear Wall Plan
- S-3 Foundation Plan
- S-4 Structural Detail Sheet

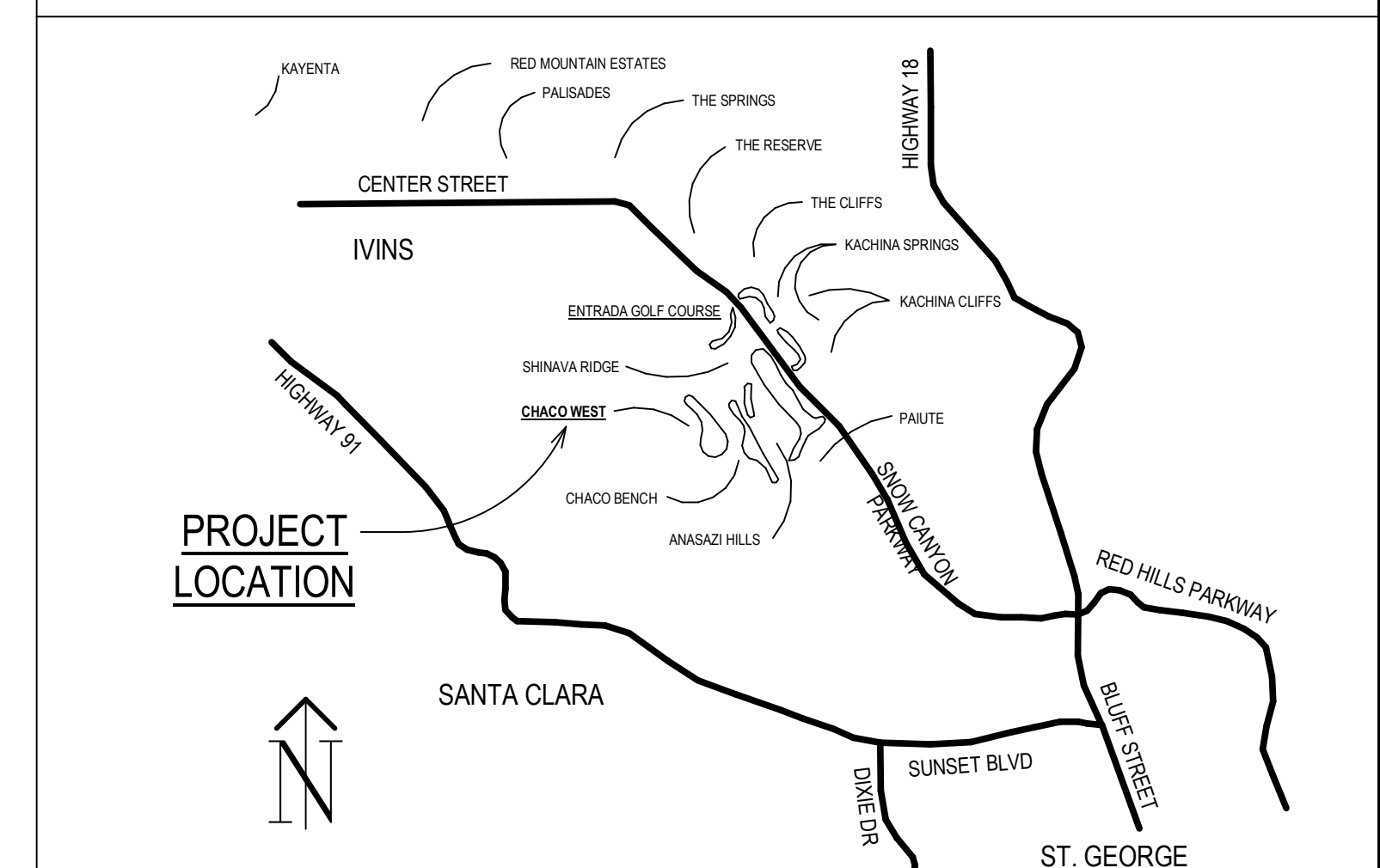
CODE REVIEW

APPLICABLE CODES: 2018 IRC, 2015 IECC (UTAH)

SYMBOLS

	BUILDING SECTION		NORTH ARROW
	WALL SECTION		ELEVATION CALLOUT
	DETAIL CALLOUT		BREAK LINE
	ROOM TAG		WINDOW TAG
	DOOR TAG		REVISION TAG

VICINITY MAP



2018 INTERNATIONAL RESIDENTIAL CODE (IRC)										
PROPOSED BLDG. HAS BEEN DESIGNED TO MEET OR EXCEED THE REQ. OF THE INTERNATIONAL RESIDENTIAL CODE PER (TABLE N1102.1.2)										
INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT*										
CLIMATE ZONE	FENESTRATION U-FACTOR ^a	SKYLIGHT U-FACTOR ^b	GLAZED FENESTRATION SHGC ^c	CEILING R-VALUE	WOOD FRAME WALL R-VALUE ^e	MASS WALL R-VALUE ^f	FLOOR R-VALUE	BASEMENT R-VALUE ^g	SLAB R-VALUE ^h	CRAWL SPACE WALL R-VALUE
3B	0.32	0.55	0.25	38	20 or 13 + 5 ⁱ	8/13	19	5/13 ^f	0	5/13

a. R-VALUES ARE MINIMUMS, U-FACTORS AND SHGC ARE MAXIMUMS. WHERE INSULATION IS INSTALLED IN A CAVITY WHICH IS LESS THAN THE LABEL OR DESIGN THICKNESS OF THE INSULATION, THE INSTALLED R-VALUE OF THE INSULATION SHALL NOT BE LESS THAN THE R-VALUE SPECIFIED IN THE TABLE.

b. THE FENESTRATION U-FACTOR COLUMN EXCLUDES SKYLIGHTS. THE SHGC COLUMN APPLIES TO ALL GLAZED FENESTRATION.

c. EXCEPTION: IN CLIMATE ZONES 1 THROUGH 3, SKYLIGHTS SHALL BE PERMITTED TO BE EXCLUDED FROM GLAZED FENESTRATION SHGC REQUIREMENTS PROVIDED THAT THE SHGC FOR SUCH SKYLIGHTS DOES NOT EXCEED 0.30.

d. *15/19* MEANS R-15 CONTINUOUS INSULATION ON THE INTERIOR OR EXTERIOR OF THE HOME OR R-19 CAVITY INSULATION AT THE INTERIOR OF THE BASEMENT WALL. *15/19* SHALL BE PERMITTED TO BE MET WITH R-13 CAVITY INSULATION ON THE INTERIOR OF THE BASEMENT WALL PLUS R-5 CONTINUOUS INSULATION ON THE INTERIOR OR THE EXTERIOR OF THE HOME. *10/13* MEANS R-10 CONTINUOUS INSULATION ON THE INTERIOR OR THE EXTERIOR OF THE HOME OR R-13 CAVITY INSULATION AT THE INTERIOR OF THE BASEMENT WALL.

e. R-5 INSULATION SHALL BE PROVIDED UNDER THE FULL SLAB AREA OF A HEATED SLAB IN ADDITION TO THE REQUIRED SLAB EDGE INSULATION R-VALUE FOR SLABS, AS INDICATED IN THE TABLE. THE SLAB EDGE INSULATION FOR HEATED SLABS SHALL NOT BE REQUIRED TO EXTEND BELOW THE SLAB.

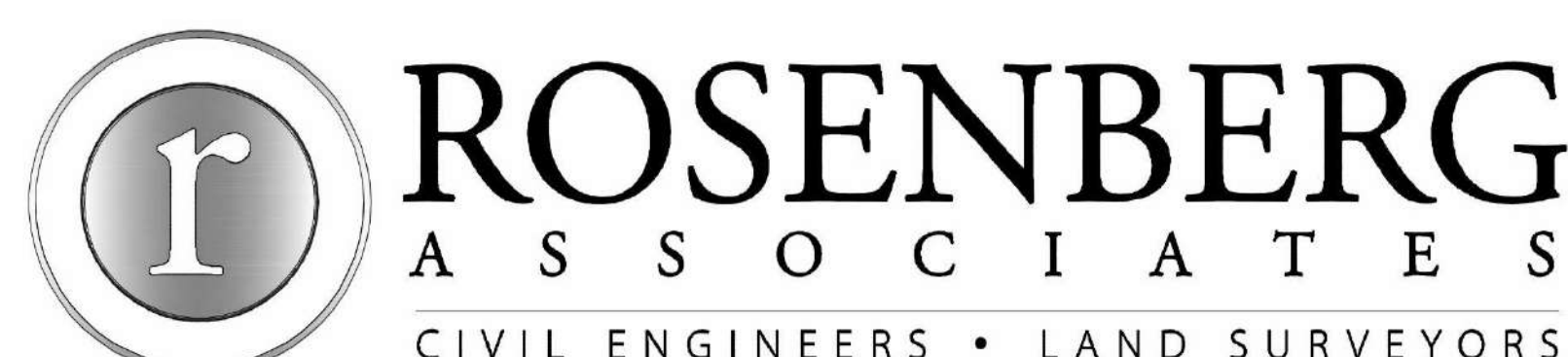
f. THERE ARE NO SHGC REQUIREMENTS IN THE MARINE ZONE.

g. BASEMENT WALL INSULATION IS NOT REQUIRED IN WARM/HUMID LOCATIONS AS DEFINED BY FIGURE N1101.10 AND TABLE N1101.10.

h. ALTERNATIVELY, INSULATION SUFFICIENT TO FILL THE FRAMING CAVITY PROVIDING NOT LESS THAN AN R-VALUE OF R-19. THE FIRST VALUE IS CAVITY INSULATION, THE SECOND VALUE IS CONTINUOUS INSULATION, THEREFORE, AS AN EXAMPLE, *13-15* MEANS R-13 CAVITY INSULATION PLUS R-5 CONTINUOUS INSULATION.

i. MASS WALLS SHALL BE IN ACCORDANCE WITH SECTION N1102.2.5. THE SECOND R-VALUE APPLIES WHEN MORE THAN HALF OF THE INSULATION IS ON THE INTERIOR OF THE MASS WALL.

STRUCTURAL ENGINEER



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CONTRACTOR

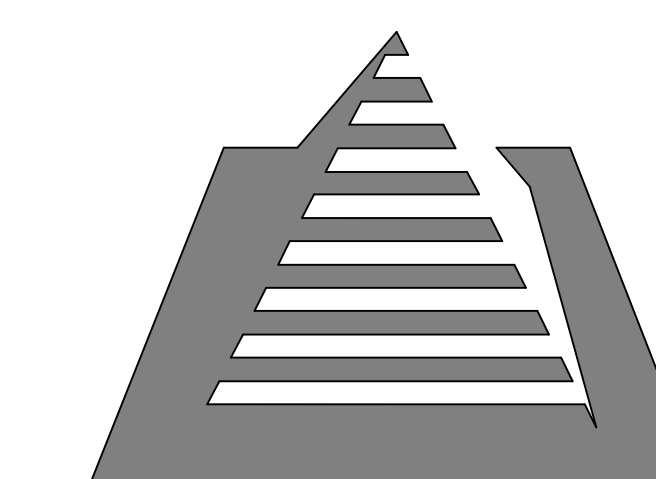


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CONTRACTOR REVIEW REQUIREMENTS:

GENERAL AND SUB-CONTRACTORS SHALL REVIEW DRAWINGS TO VERIFY CONTINUITY AND ACCURACY BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION FOR EXPLANATION OR CORRECTION. ANY ALTERATION SHALL BE APPROVED BY THE ARCHITECT PRIOR TO ERECTION OR INSTALLATION.

ARCHITECT



McQuay Architects, PLLC
1449 North 1400 West Suite B-16 St. George, Utah 84770

Rob E. McQuay, AIA - Principal Architect
Todd Benson, AIA, LEED AP - Project Architect

Phone: (435) 656-8026
E-mail: todd@mcquayarchitects.com



6,832
6,832
TOTAL SQ. FT.

1,412
Garage/Mech.

CUSTOM RESIDENCE
ST. GEORGE, UT
CHACO WEST @ ENTRADA, LOT #02
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COVER SHEET & PROJECT INFO
GOV